

GRADING SPECIAL USE
PERMIT

FOR

2359 Diamond J Place

Prepared For:

Gestore LLC
Attn: Sean Hallgren
9730 S Virginia Street
Reno, NV 89519

Prepared By:



575 E. Plumb Lane, Suite 101
Reno, NV 89502
775.636.7905

June 2026

25.090

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Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: 2359 Diamond J Place			
Project Description: The development of a new single family residence.			
Project Address: 2359 Diamond J Place			
Project Area (acres or square feet): 4.3 acres			
Project Location (with point of reference to major cross streets AND area locator): The project site is located +/-300' east of the Diamond J Way cul-de-sac.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
230-031-12	4.3		
230-031-11	3.3		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Gestore LLC		Name: Monte Vista Consulting, Ltd.	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Sean Hallgren		Contact Person: Michael Vicks	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Gestore LLC		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Sean Hallgren		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Project Information

Location: 2359 Diamond J Place

APN: 230-031-12

Site Area: 4.3 ac

Zoning: GR

Master Plan Designation: Rural

Proposed Use: Single Family Residential

Grading Special Use Permit trigger: The proposed driveway traverses existing slopes greater than 30% as well as cut and fill depths exceeding thresholds established per Washoe County Code 110.438.28.

Pre-Development Discussion

Existing Conditions & Development:

The site is currently undeveloped consisting of native grasses and brush. Access to the site is from Diamond J Place to the west of the property. The parcel is part of the Diamond J Subdivision with existing slopes at the west of the property generally exceeding 2:1 as a result of the construction of the subdivision.

Surrounding Properties:

- | | | |
|-------------------------------|-------------|------------------|
| ○ North: 0 Diamond J Place | Zoning: GR | Use: Undeveloped |
| ○ South: 2347 Diamond J Place | Zoning: GR | Use: Undeveloped |
| ○ East: 0 Diamond J Place | Zoning: GR | Use: Undeveloped |
| ○ West: Diamond J Place | Zoning: N/A | Use: Street |

Previous Entitlements:

Proposed Development Discussion

Proposed Improvements:

The proposed development includes a new single family residence with the associated paved driveway, retaining walls, utility connections and drainage improvements. The proposed driveway extends through the adjacent property to the south (2347 Diamond J Place, APN: 230-031-11). The driveway across the adjacent property results in 2:1 slopes on the downhill side which are stabilized with rip rap. This is intentional as the area is intended to be modified in association with the future development. Onsite, 4' maximum rockery retaining walls terrace down the hillside to balance grading to the extent possible while maintaining reasonable driveway slopes.

The Grading Special Use Permit is triggered because portions of the proposed driveway traverses through existing slopes that exceed 30%. Additionally, there are sections of the proposed development that exceed the maximum cut and fill depths outlined in the Washoe County Code 110.438.28, however, those areas fall fully within the building footprint. The disturbed areas are intended to be revegetated or landscaped. Areas where proposed slopes exceed 2:1 will be stabilized with rip rap.

**Special Use Permit Application
for Grading
Supplemental Information**
(All required information may be separately attached)

1. What is the purpose of the grading?

The development of a new single-family residence and associated paved driveway and drainage improvements.

2. How many cubic yards of material are you proposing to excavate on site?

2,590 cubic yards.

3. How many square feet of surface of the property are you disturbing?

29,530 S.F.

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

810 cubic yards. Excess material will be distributed to the remainder of the site.

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

It is not possible to develop the property without surpassing the grading thresholds because the site is on a hillside with existing slopes exceeding 30%.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

The existing slopes at the project site are not natural slopes and have occurred as a result of the development of the Diamond J Subdivision.

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

Yes, all areas shown on the site plan are proposed to be disturbed by grading. Please reference sheets C2.1 & C2.2.

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

Yes, the disturbed area can be seen from Diamond J Place to the east of the property. Adjacent parcel APN:230-032-06 can see the disturbed area as well and the remainder parcels immediate to the site are vacant.

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

The proposed driveway traverses through the adjacent parcel to the south, 2347 Diamond J (APN:230-031-11), and can be a shared driveway for the development of a future residence for that adjacent parcel.

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

The general slopes of the proposed improvements range from 5:1 to 2:1 surrounding the site. All disturbed areas will be either landscaped or revegetated. Fiber rolls for slope stabilization and silt fence for sediment control will be used to prevent erosion. For slopes that are 2:1, rip rap will be utilized for permanent stabilization and erosion control.

11. Are you planning any berms?

Yes	Nox	If yes, how tall is the berm at its highest?
-----	-----	--

12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

4' maximum rockery and concrete retaining walls.

13. What are you proposing for visual mitigation of the work?

The proposed work will be fully landscaped/revegetated for visual mitigation.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

No.

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

Generic.

16. How are you providing temporary irrigation to the disturbed area?

There is not currently a well on site, but would likely be drilled early in the construction process, and a temporary system could be set up.

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

No.

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

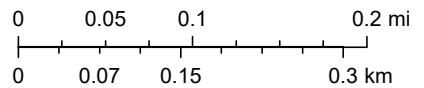
Yes	Nox	If yes, please attach a copy.
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Vicinity Map



June 1, 2026

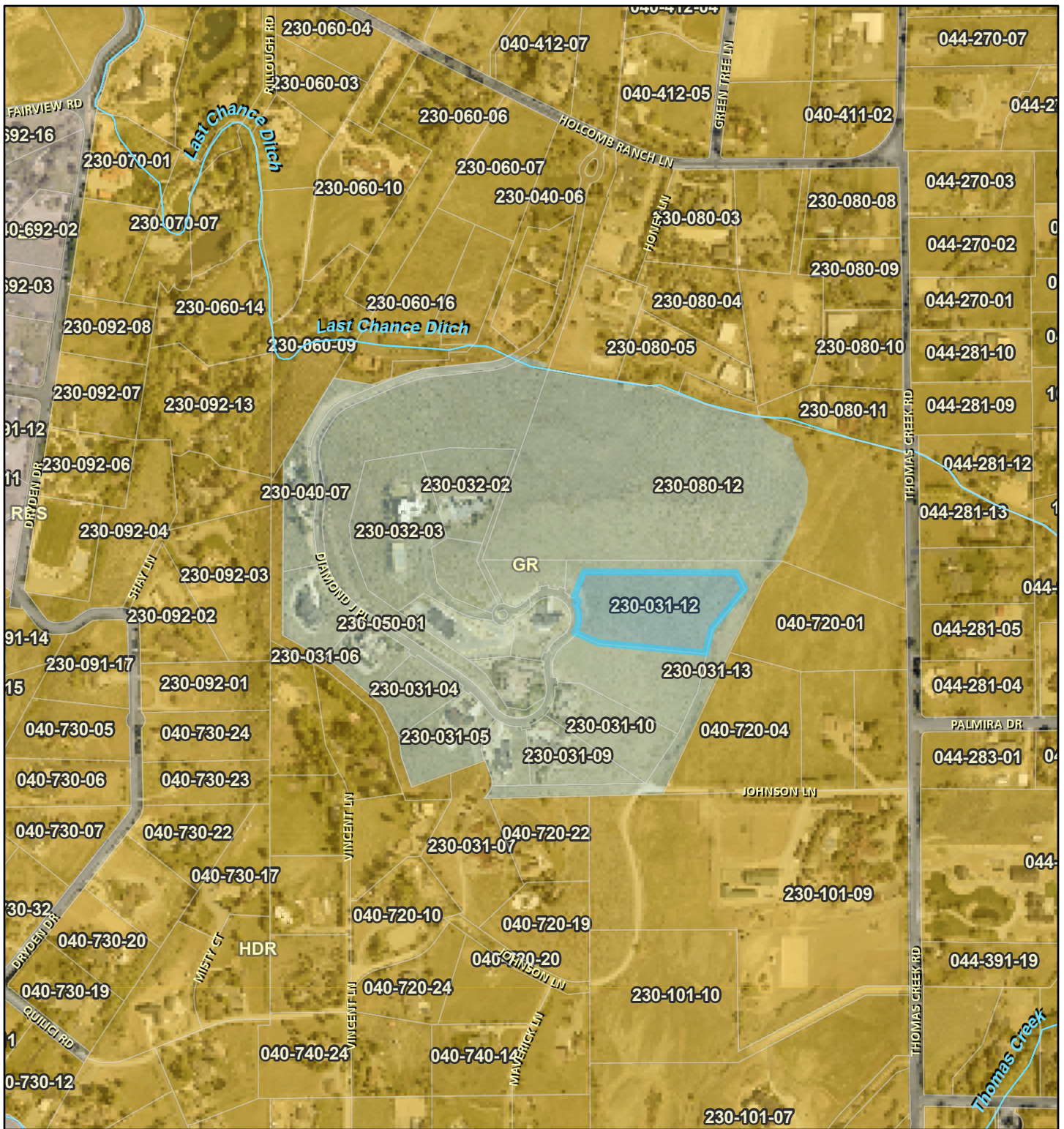
1:9,028



Washoe County GIS, Source: Esri, Vantor, Earthstar Geographics, and the GIS User Community

This information for illustrative purposes only. Not be used for boundary

Zoning Map

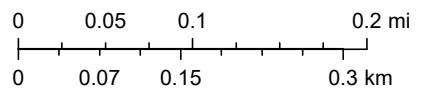


June 1, 2026

1:9,028

Regulatory Zoning - Washoe

- General Rural
- High Density Rural
- Low Density Suburban

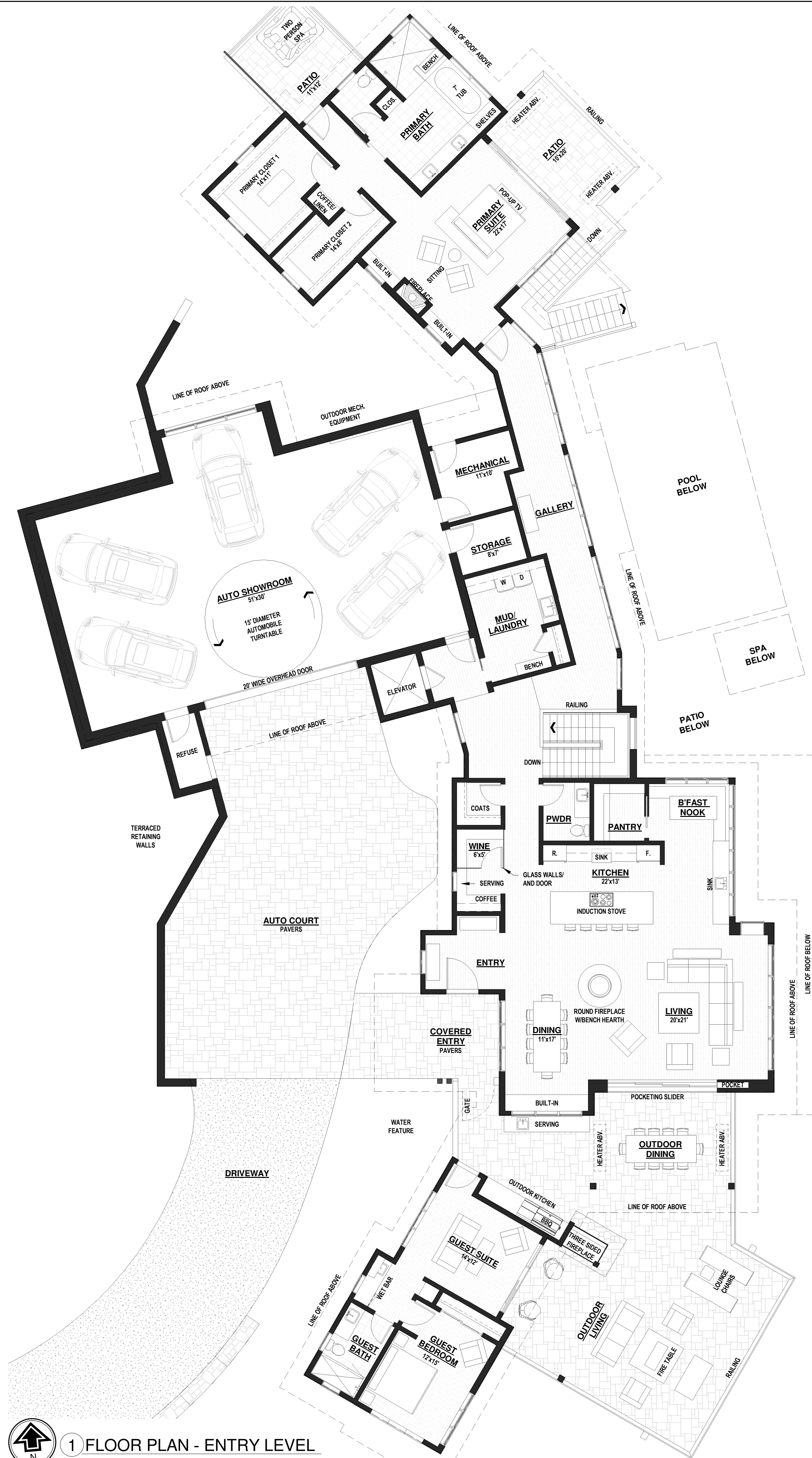


Washoe County, Washoe County GIS, Source: Esri, Vantor, Earthstar Geographics, and the GIS User Community

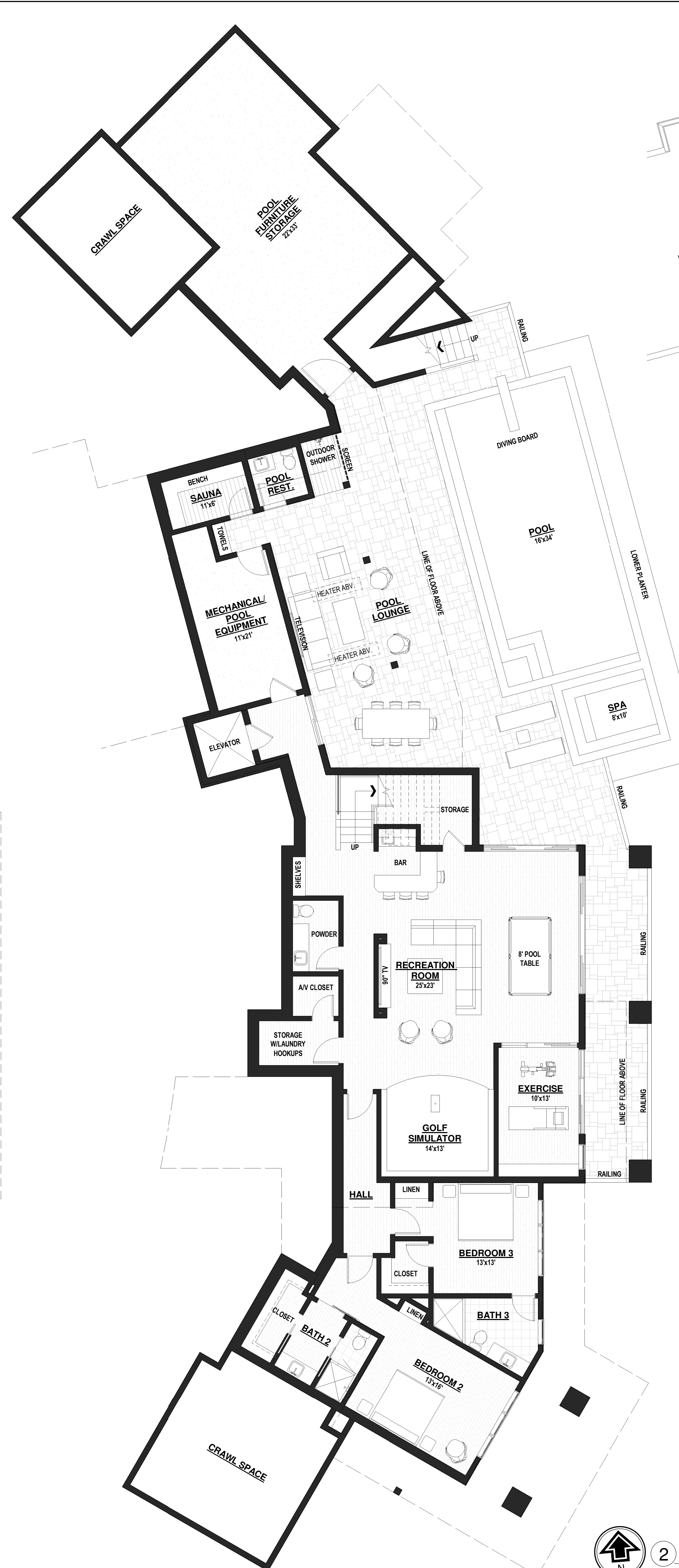
Roads

This information for illustrative purposes only. Not be used for boundary

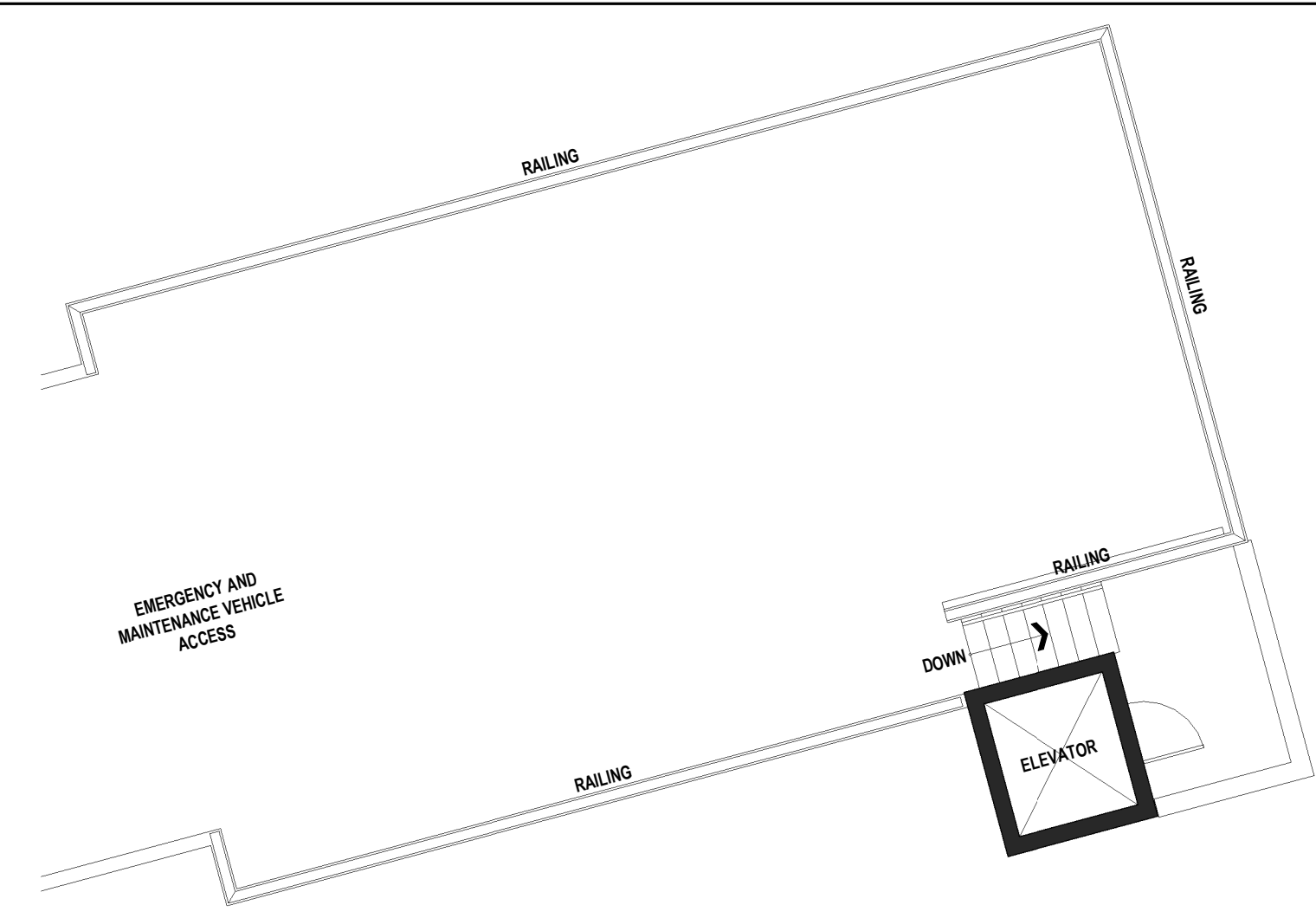
Plans



1 FLOOR PLAN - ENTRY LEVEL
1/8" = 1'-0"



2 FLOOR PLAN - LOWER LEVEL
1/8" = 1'-0"



3 FLOOR PLAN - UPPER LEVEL
1/8" = 1'-0"

FLOOR PLANS OVERALL

THESE DRAWINGS HAVE BEEN PREPARED BY DALE COX ARCHITECTS
2359 DIAMOND J
THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS, IN OTHER LOCATIONS,
OR BY ANY OTHER INDIVIDUALS WITHOUT THE WRITTEN APPROVAL AND
PARTICIPATION OF DALE COX ARCHITECTS. REPRODUCTION IS PROHIBITED.

REVISIONS

2359 DIAMOND J

2359 DIAMOND J PLACE
RENO NV
WASHOE COUNTY
APN: 230-031-12

DALE COX ARCHITECTS
ARCHITECTURE - PLANNING - CONSTRUCTION MANAGEMENT
4790 Caughlin Parkway #417
Reno NV 89519-0907
Phone: (530) 550-9144

DRAWN BY: JW
DATE: 5/13/26
SCALE: 1/8" = 1'-0"
JOB #: 25-06

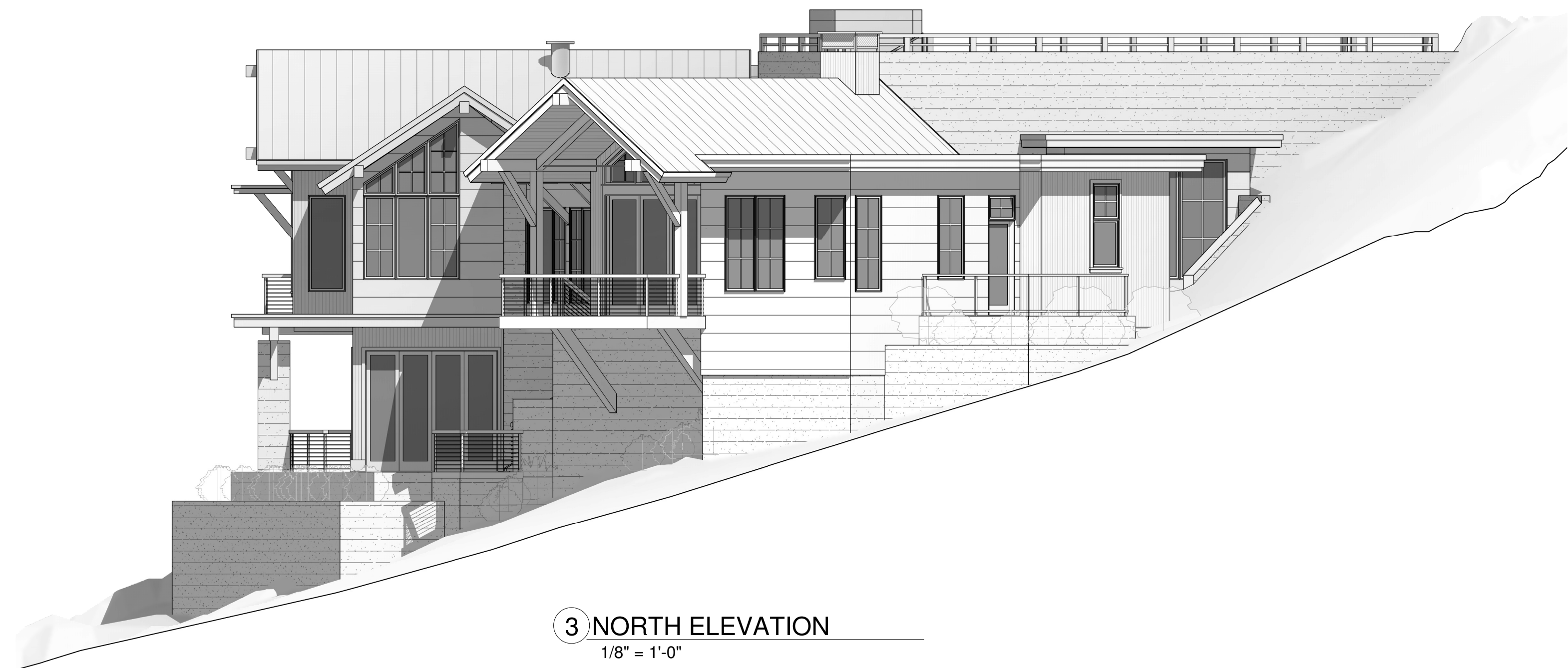
SHEET
A2.1



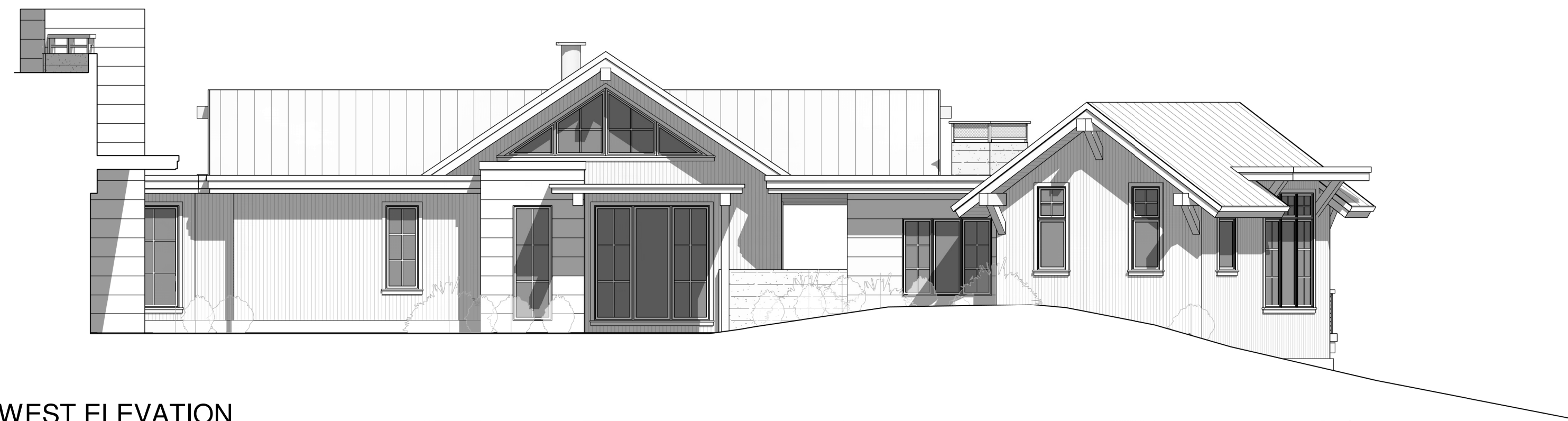
1 EAST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"

ELEVATIONS
OVERALL

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REVISIONS

2359 DIAMOND J

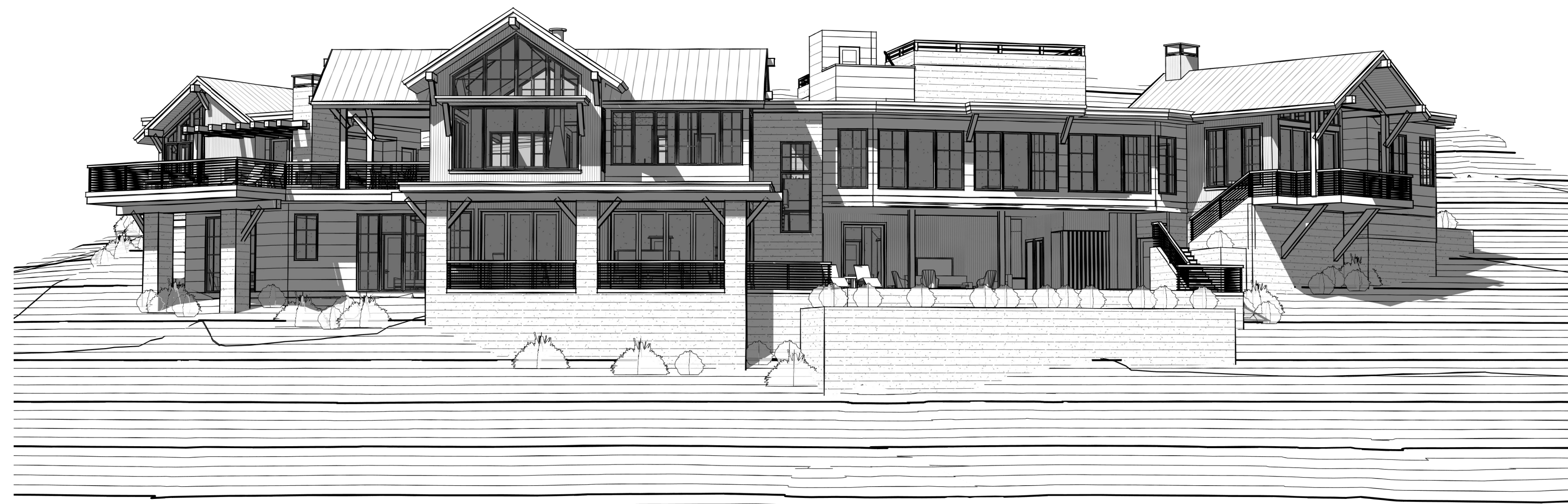
2359 DIAMOND J PLACE
RENO NV
WASHOE COUNTY
APN: 230-031-12

DALE COX ARCHITECTS
ARCHITECTURE - PLANNING - CONSTRUCTION MANAGEMENT
4790 Caughlin Parkway #417
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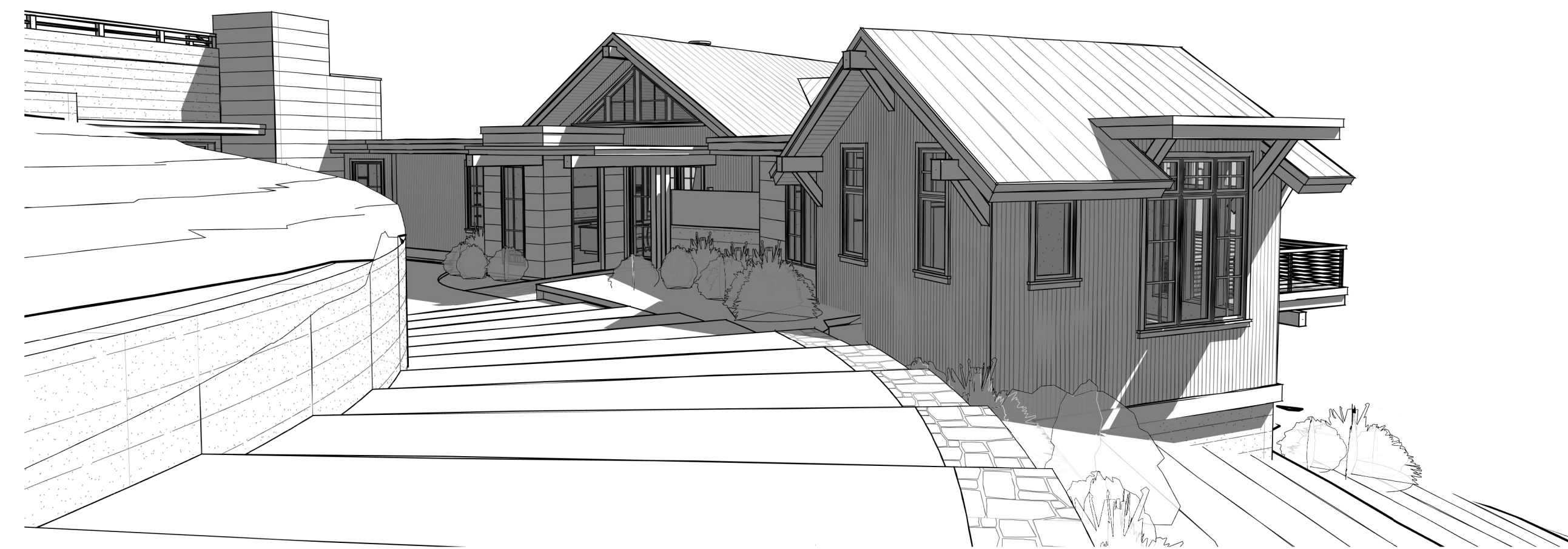
DRAWN BY : JW
DATE : 5/13/26
SCALE : 1/8" = 1'-0"
JOB # 25-06

SHEET

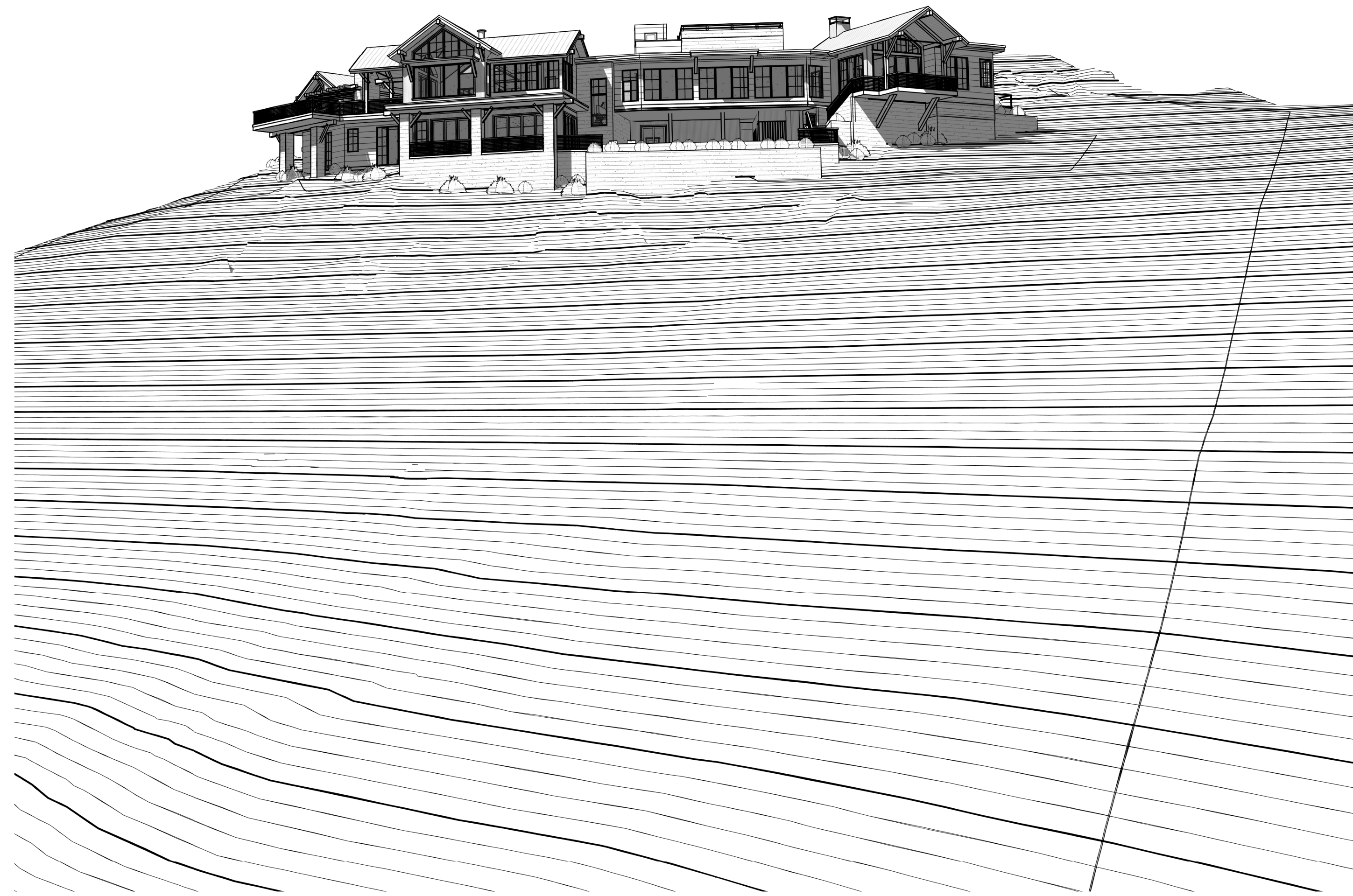
A3.1



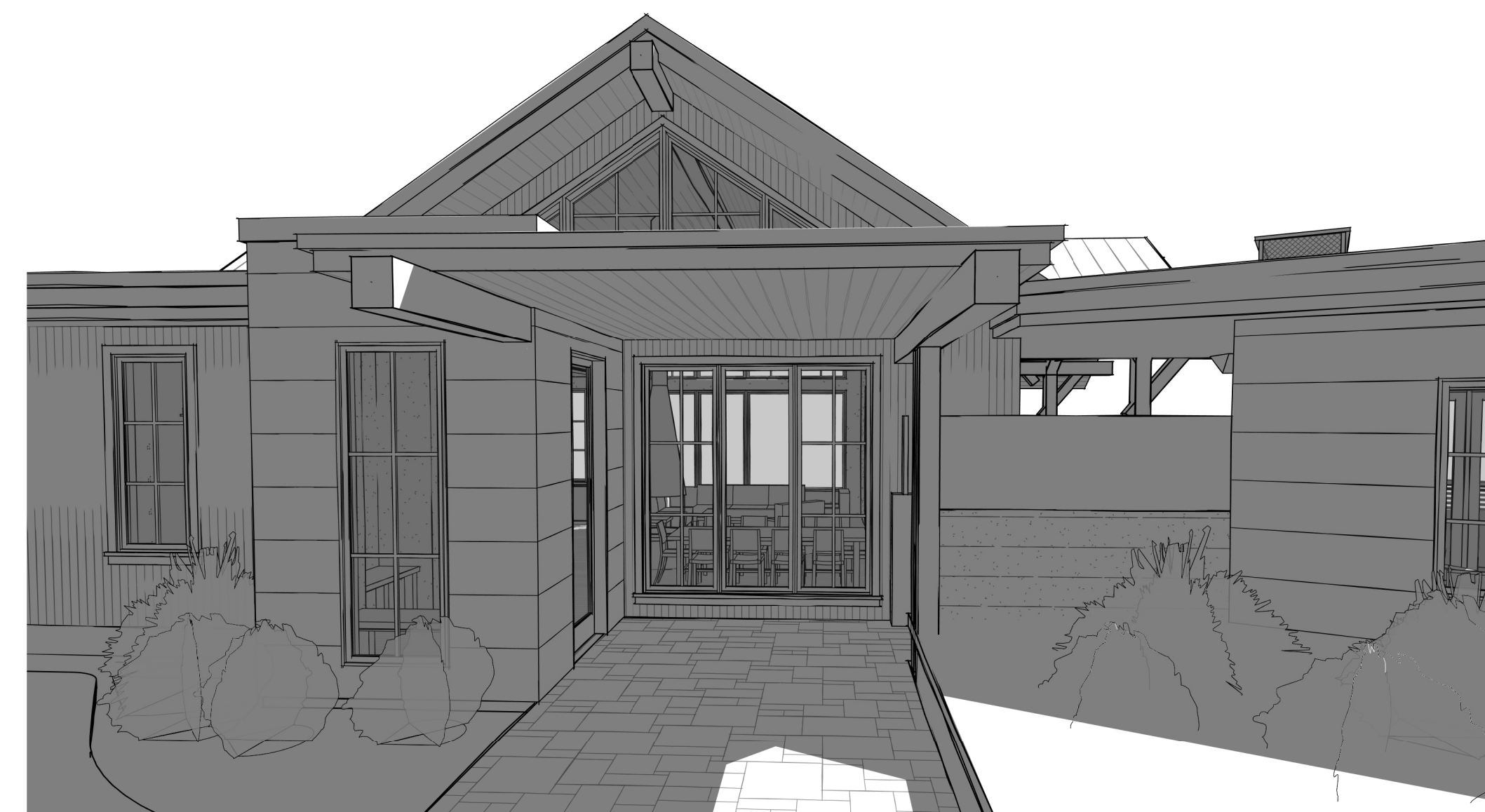
① EAST PERSPECTIVE



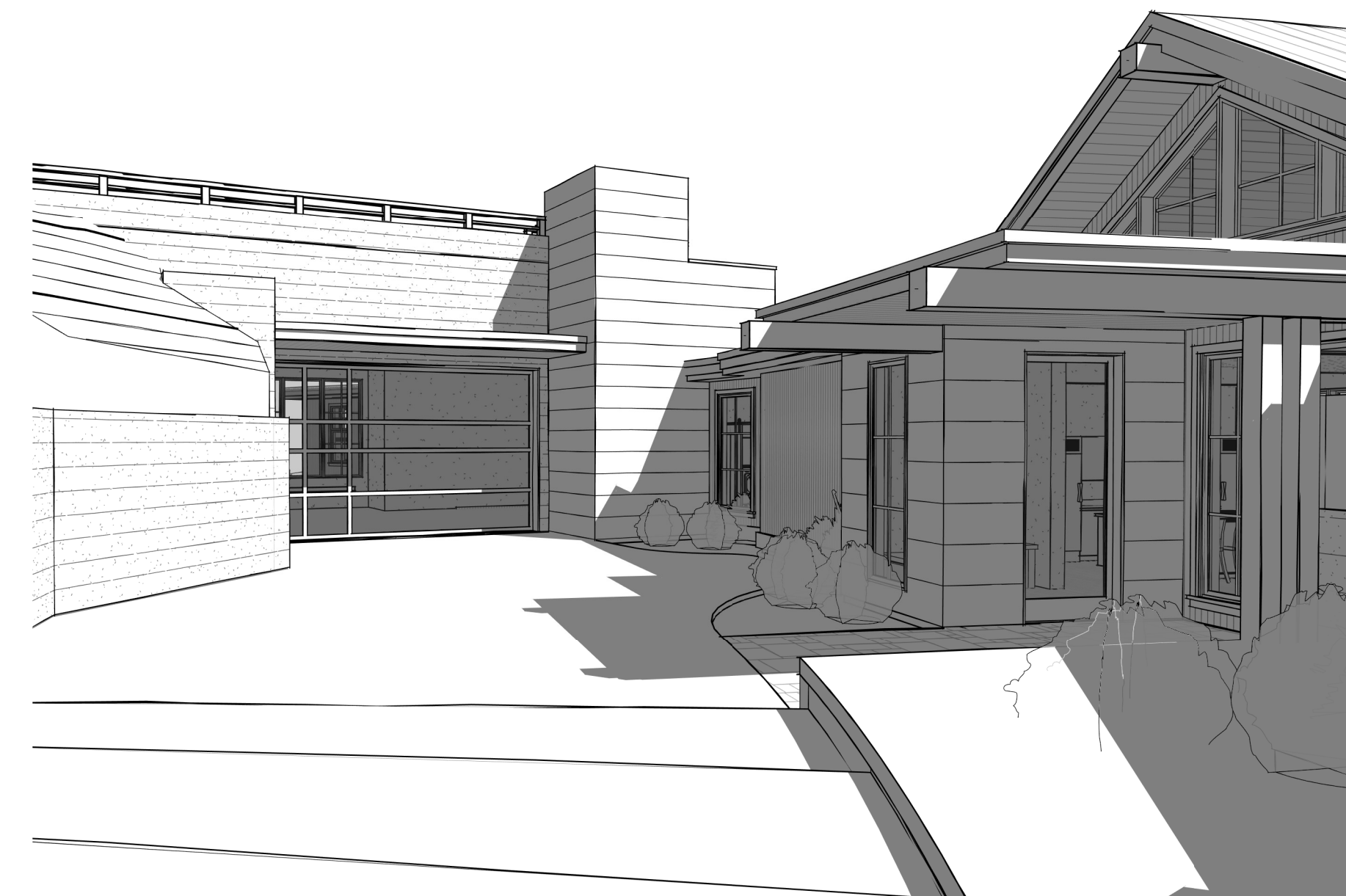
③ DRIVEWAY PERSPECTIVE



② DOWNHILL VIEW



④ ENTRY PERSPECTIVE



⑤ VIEW OF GARAGE

PERSPECTIVE VIEWS

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 2359 DIAMOND J
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REVISIONS

2359 DIAMOND J

2359 DIAMOND J PLACE
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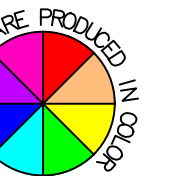
DRAWN BY :	JW	SHEET A9.2
DATE :	5/13/26	
SCALE :		
JOB #	25-06	

SITE IMPROVEMENT PLANS FOR 2359 Diamond J Residence

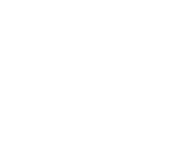


2359 Diamond J Place
APN: 230-031-12
Washoe County, Nevada
Project # 25,090
Drawn TKN
Checked MWV
Date 6.8.2026
Revisions

PROFESSIONAL ENGINEER-STATE OF NEVADA
MICHAEL W. VICKS
Exp: 6-30-2028
CIVIL
No. 21025
June 5, 2026



FOR CONSTRUCTION ONCE APPROVED BY
WASHOE COUNTY, NEVADA



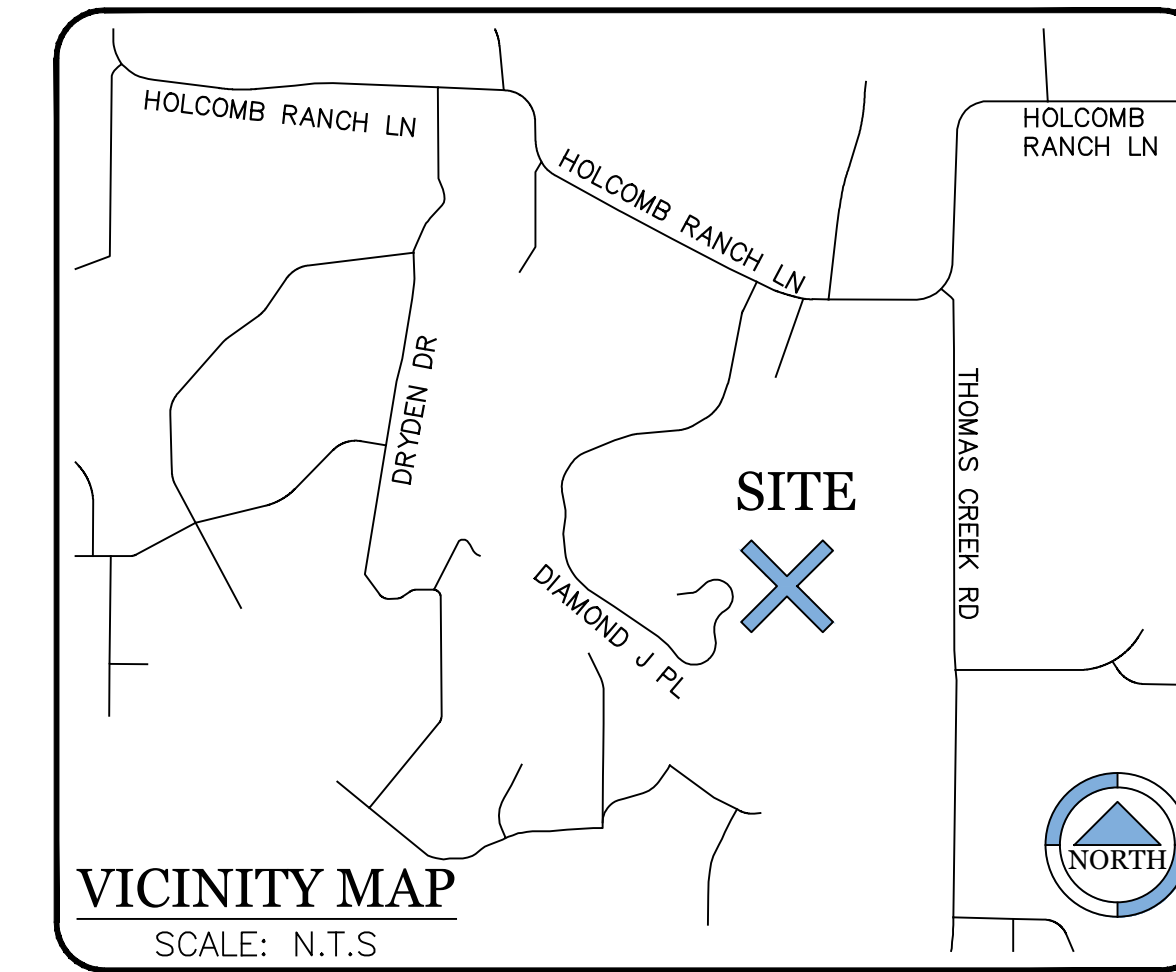
PLEASE PRINT AND FOLD IN
THIS MANNER

STANDARD BMP NOTES

1. THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE PUBLIC RIGHTS OF WAYS OF WASHOE COUNTY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
2. ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND THEIR AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN WASHOE COUNTY DEVELOPMENT CODE ARTICLE 421 AND THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.
3. TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY. REFER TO STORMWATER GENERAL PERMIT NVR100000, SECTION 3.6 SITE STABILIZATION REQUIREMENTS, SCHEDULES, AND DEADLINES.
4. AT A MINIMUM, THE CONTRACTOR OR THEIR AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMPs WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT THE CONTRACTOR OR THEIR AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORMWATER GENERAL PERMIT NVR100000, SECTION 5.0 INSPECTIONS.
5. ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT WHICH EVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

DEFENSIBLE SPACE & VEGETATION MANAGEMENT NOTES

1. REQUIRED DEFENSIBLE SPACES SHALL BE 30' FOR MODERATE HAZARD RATINGS OR AS MODIFIED BY THE FIRE MARSHAL.
2. DEFENSIBLE SPACE SHALL BE MAINTAINED TO THE REQUIRED DISTANCE MEASURED ON A HORIZONTAL PLANE FROM THE PERIMETER OR PROJECTION OF THE BUILDING OR STRUCTURE.
3. IN AREAS OF HIGH OR EXTREME FIRE HAZARD, THE AREA EXTENDING FROM THE BASE OF ANY STRUCTURE TO 5' BEYOND THE BASE OF SUCH STRUCTURE SHALL BE COMPOSED ENTIRELY OF NON-COMBUSTIBLE MATERIAL OR FIRE RESISTIVE VEGETATION AS APPROVED BY THE FIRE CODE OFFICIAL.
4. CULTIVATED GROUND COVER SUCH AS GRASS, IVY, SUCCULENTS OR SIMILAR PLANTS USED AS GROUND COVER ARE ALLOWED WITHIN THE DEFENSIBLE SPACE PROVIDED THEY DO NOT FORM A MEANS OF TRANSMITTING FIRE FROM THE NATIVE GROWTH TO ANY STRUCTURE.
5. THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DEFENSIBLE SPACE WHICH SHALL INCLUDE MODIFYING OR REMOVING NON FIRE-RESISTIVE VEGETATION AND KEEPING LEAVES, NEEDLES AND OTHER DEAD VEGETATIVE MATERIAL REGULARLY REMOVED FROM ROOFS OF BUILDINGS & STRUCTURES.
6. TREE CROWNS SHALL BE PRUNED IN ORDER TO MAINTAIN 10' CLEARANCE FROM ANY STRUCTURE AND TO MAINTAIN A 6' VERTICAL CLEARANCE BETWEEN THE GROUND AND LIMBS WITHIN THE DEFENSIBLE SPACE. DEADWOOD & LITTER SHALL BE REGULARLY REMOVED FROM TREES.
7. SPARK ARRESTORS SHALL BE INSTALLED ON CHIMNEYS SERVICING FIREPLACES, BARBECUES, INCINERATORS OR DECORATIVE HEATING APPLIANCES IN WHICH SOLID OR LIQUID FUEL IS USED.
8. FIREWOOD AND OTHER COMBUSTIBLE MATERIALS SHALL NOT BE STORED IN UNENCLOSED SPACES BENEATH BUILDINGS OR STRUCTURES, ON DECKS OR UNDER EAVES, CANOPIES OR OTHER PROJECTIONS/OVERHANGS. FIREWOOD OR OTHER COMBUSTIBLE MATERIALS SHALL BE STORED A MINIMUM OF 20' FROM STRUCTURES AND SEPARATED FROM THE CROWN OF TREES BY A MINIMUM HORIZONTAL DISTANCE OF 15'.
9. TREE SPACING GUIDELINES: SLOPES 0%-20%: 10'; SLOPES 20%-40%: 20'; SLOPES GREATER THAN 40%: 30'
10. SHRUB SPACING GUIDELINES: SLOPES 0%-20%: 2 TIMES THE HEIGHT OF THE SHRUB; SLOPES 20%-40%: 4 TIMES THE HEIGHT OF THE SHRUB; SLOPES GREATER THAN 40%: 6 TIMES THE HEIGHT OF THE SHRUB)
11. VERTICAL SPACE BETWEEN THE TOP OF A SHRUB AND THE BOTTOM OF LOWER TREE BRANCHES IS RECOMMENDED TO BE 3 TIMES THE HEIGHT OF THE SHRUB.



SITE INFORMATION	
ADDRESS	2359 DIAMOND J PLACE
APN	230-031-12
LOT SIZE	4.3 AC
ZONING	GR
WUI FIRE RISK RATING	MODERATE
SETBACKS (F/R/S)	PER PUD

OWNER INFORMATION

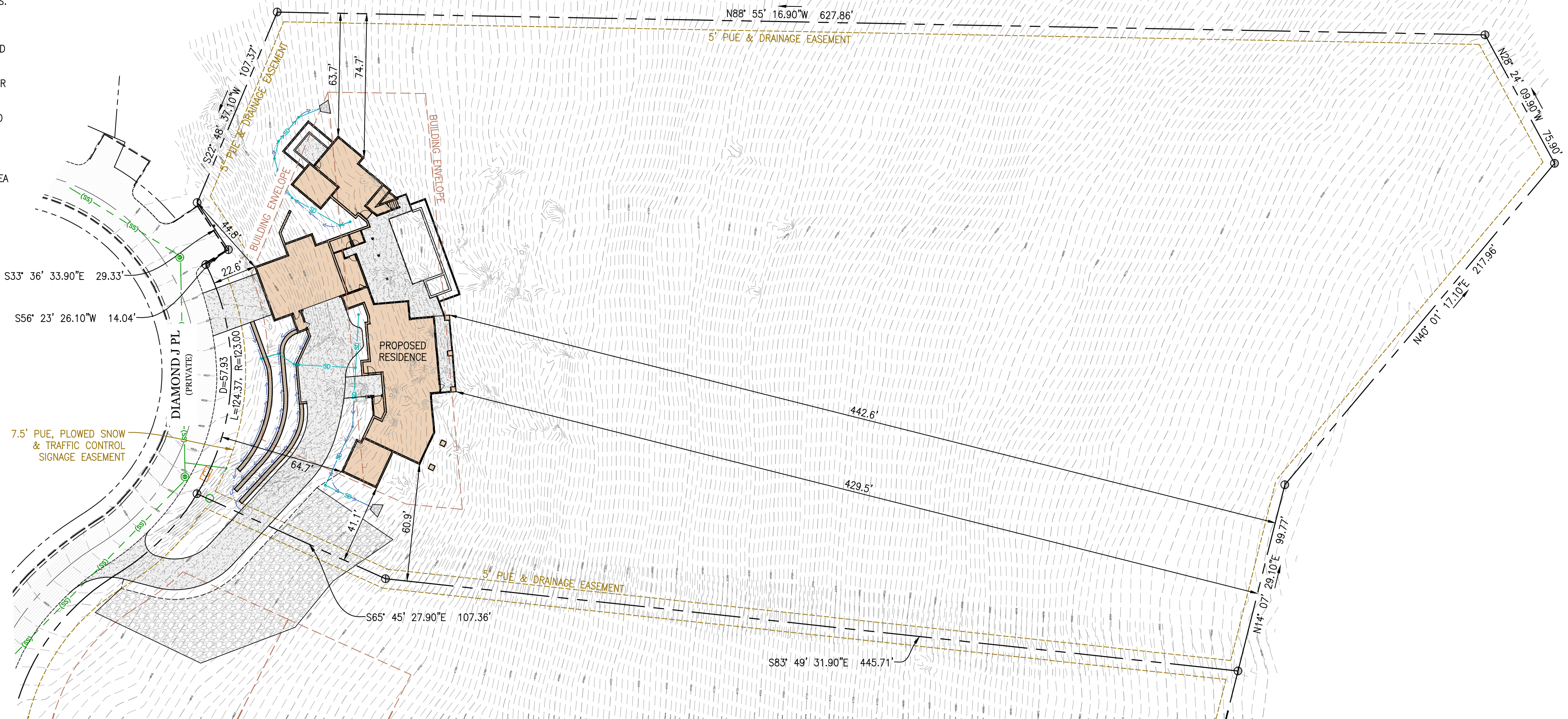
GESTORE LLC
9730 S VIRGINIA STREET
RENO, NV 89511

SITE PLAN LEGEND

- DRIVEWAY/PAVED AREA
- DECK AREA
- INFILTRATION TRENCH/DRYWELL
- RAINSTORE3 DRYWELL INFILTRATION AREA
- PROPERTY LINE
- PROPERTY CORNER
- PROPOSED UTILITY LINE W. DESCRIPTION
- (UTILITY) EXISTING UTILITY LINE W. DESCRIPTION
- FIRE HYDRANT ASSEMBLY
- WATER SERVICE
- MANHOLE W. DESCRIPTION
- CLEANOUT
- SANITARY SEWER LATERAL
- YARD DRAIN
- DIRECTIONAL FLOW LINE
- GRADE BREAK
- 4900 PROPOSED CONTOUR LINE
- 4900 EXISTING CONTOUR LINE
- FLOW DIRECTION ARROW
- SPOT ELEVATION (FG:XX.XX) ~ PROPOSED
- SPOT ELEVATION (FG:XX.XX)
- FIBER ROLL (SC-1)
- SILT FENCE (SC-5)
- CONSTRUCTION ENTRANCE (SC-8)
- REVEGETATION (EC-8)
- RIPRAP (EC-7)
- SITT SLOPE TERRACING & TRACKING (EC-2)
- WEC WIND EROSION & DUST CONTROL (EC-5)
- RVG REVEGETATION (EC-8)
- SWM SOLID WASTE MANAGEMENT (GM-3)
- SWEEP STREET SURFACE CLEANING (GM-5)
- VEC VEHICLE & EQUIPMENT CLEANING (GM-7)
- VEF VEHICLE & EQUIPMENT FUELING (GM-8)
- CWM CONCRETE WASHOUT (GM-9)
- MS MATERIAL DELIVERY & STORAGE (GM-10)
- SS SANITARY WASTE MANAGEMENT (GM-14)
- TST TEMPORARY SEDIMENT TRAPS (SC-6)
- NOI NOTICE OF INTENT & OPERATOR SIGN
- TREE/TREE TO BE REMOVED

SITE NOTES

1. THESE PLANS WERE PRODUCED IN COLOR. IF THEY ARE REPRODUCED IN BLACK AND WHITE, INFORMATION WILL BE LOST. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE PROPER PLANS ARE UTILIZED.
2. MONTE VISTA CONSULTING, LTD. (MVC) IS THE DESIGN ENGINEER FOR THIS PROJECT. ALL CONTRACTORS ARE DIRECTED TO CONTACT MVC FOR ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF ANY NOTE OR OTHER INFORMATION CONTAINED ON THESE IMPROVEMENT PLANS.
3. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING, DIMENSIONS, GRADES, UTILITIES & POINTS OF CONNECTION. THE CONTRACTOR SHALL NOTIFY MVC OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OR CONTINUATION OF WORK.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE AND MAKE THEIR OWN INTERPRETATIONS WITH REGARD TO MATERIALS, MEANS, METHODS AND EQUIPMENT NECESSARY TO PERFORM THE WORK REQUIRED FOR THIS PROJECT. PRIOR TO PERFORMING ANY WORK.
5. THE CONTRACTOR IS RESPONSIBLE FOR RETAINING THE SERVICES OF A TESTING COMPANY TO PROVIDE ALL REQUIRED TESTING AND INSPECTION OF GRADING AND CONSTRUCTION NOT INSPECTED DIRECTLY BY WASHOE COUNTY OR ANY UTILITY COMPANY. THE CONTRACTOR SHALL PROVIDE ANY INSPECTING ENTITY TWO (2) WORKING DAYS ADVANCE NOTICE OF ANY REQUIRED TESTING AND INSPECTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND COORDINATING ALL SERVICE REQUIREMENTS WITH THE APPROPRIATE PUBLIC AGENCY OR UTILITY PROVIDER. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
7. THE FIELD SURVEY PREPARED BY MERIDIAN SURVEYING & MAPPING, INC. IS THE BASIS OF THIS DESIGN. IMPROVEMENTS AND/OR UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THE PLANS. THE LOCATIONS OF EXISTING IMPROVEMENTS AND UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME OF DESIGN. THE INFORMATION IS NOT TO BE RELIED UPON AS EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY ACTUAL LOCATIONS OF EXISTING IMPROVEMENTS AND UTILITIES PRIOR TO CONSTRUCTION. SHOULD THE CONTRACTOR DISCOVER ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE INFORMATION SHOWN ON THESE DRAWINGS, THEY SHALL NOTIFY MVC BEFORE PROCEEDING WITH CONSTRUCTION.
8. AN ENCROACHMENT & EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN THE WASHOE COUNTY RIGHT-OF-WAY AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CODES, STANDARD SPECIFICATIONS & DETAILS.
9. THIS SITE IS SERVICED BY PRIVATE WELL WATER AND PUBLIC SEWER.
10. THERE IS NO PUBLIC WATER AVAILABLE.
11. THERE IS NO PUBLIC WELL WITHIN 200' OF THIS PROPERTY.
12. THE CONTRACTOR SHALL FIELD VERIFY AND PROVIDE A BACKWATER VALVE ON THE SANITARY SEWER SERVICE LATERAL IF THE UPSTREAM SEWER MANHOLE RIM IS ELEVATED HIGHER THAN THE FINISH FLOOR ELEVATION OF THE STRUCTURE.
13. MAINTAIN 3.0' MINIMUM COVER OVER ALL WATER MAINS AND SERVICES.
14. MAINTAIN 4.0' MINIMUM HORIZONTAL CLEARANCE AROUND ALL FIRE HYDRANTS.
15. REF. NV ENERGY PLANS, SITE ELECTRICAL PLAN & SITE PLUMBING PLAN FOR ALL GAS AND ELECTRIC IMPROVEMENTS.
16. PLACEMENT OF THE STRUCTURE WITHIN THE REQUIRED SETBACKS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
17. REFERENCE ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND FOR ALL DETAILS REGARDING TRANSITIONS AT EXTERIOR DOORS. SHOULD ANY DISCREPANCIES BETWEEN THIS PLAN AND THE ARCHITECTURAL PLANS OCCUR, THE CONTRACTOR SHALL NOTIFY MVC PRIOR TO PROCEEDING WITH CONSTRUCTION. REFERENCE DESIGN BY OTHERS.
18. BACKFILL ESTABLISHING SEPARATION AS REQUIRED BY ARCHITECTURAL AND STRUCTURAL DESIGN BETWEEN FINISH GRADE AND SIDING (8" MIN SEPARATION TYPICAL). REFERENCE DESIGN BY OTHERS.
19. PROVIDE 5% MINIMUM (1% ON CONCRETE SURFACES) TO 20% MAXIMUM SLOPE AWAY FROM PROPOSED STRUCTURE TOWARDS THE DRAINAGE SWALE OR APPROVED DRAINAGE OUTFALL 10' MIN. FROM STRUCTURE. (UNLESS OTHERWISE NOTED)
20. DRAINAGE SWALE SHALL MAINTAIN A MINIMUM SLOPE OF 1% TOWARDS AN APPROVED DRAINAGE OUTFALL.
21. SLOPE LAWN AREAS 2.0% MIN. TOWARD THE DRAINAGE SWALE OR OTHER APPROVED DRAINAGE OUTFALL.
22. THE CONTRACTOR SHALL TRANSITION ALL POINT FLOWS TO SHEET FLOWS WITH MECHANICALLY STABILIZED NATIVE ROCK WATER SPREADING AT THE TERMINATION OF ANY SWALE. NO STABILIZATION IS REQUIRED ON PAVED SURFACES.
23. ANY RETAINED HEIGHTS INDICATED ARE FROM SURFACE TO SURFACE UNLESS OTHERWISE NOTED. MVC IS NOT RESPONSIBLE FOR ANY STRUCTURAL DESIGN OF SITE RETAINING WALLS OR FEATURES. REFERENCE APPLICABLE STRUCTURAL/ARCHITECTURAL DESIGN BY OTHERS FOR DESIGN AND DETAIL.
24. ALL HARDSCAPE AND LANDSCAPING SURROUNDING THE STRUCTURE SHALL BE FINISHED PER OWNERS REQUIREMENTS. IT IS RECOMMENDED THAT THE CONTRACTOR OBTAIN & REVIEW A SITE SPECIFIC GEOTECHNICAL INVESTIGATION/REPORT AND ADDENDUMS. IN THE EVENT OF DISCREPANCY BETWEEN THE REPORT AND THE NOTES HEREIN, THE REPORT SHALL PREVAIL.
25. THE CONTRACTOR WILL PREPARE AN INDEPENDENT ESTIMATE OF EARTHWORK QUANTITIES. ANY QUANTITIES PROVIDED IN THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR MATERIAL EXPANSION OR SHRINKAGE.
26. ALL AREAS OF FILL SHALL BE GRADED IN ACCORDANCE WITH THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER TO ENSURE PROPER MATERIAL IS USED AND PROPER COMPACTION IS OBTAINED.
27. ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST GOVERNMENTAL REGULATIONS OR IN APPROVED AREAS AS SHOWN ON THE GRADING PLAN. UNSUITABLE SOIL OR MATERIALS, NOT TO BE INCLUDED IN THE WORK INCLUDE: ORGANIC MATERIALS SUCH AS PEAT, MULCH, ORGANIC SILT OR SOD, SOILS CONTAINING EXPANSIVE CLAYS, MATERIAL CONTAINING EXCESSIVE MOISTURE, POORLY GRADED COARSE MATERIAL, PARTICLE SIZE IN EXCESS OF 6 INCHES, MATERIAL WHICH WILL NOT ACHIEVE DENSITY AND/OR BEARING REQUIREMENTS.
28. THIS SITE LIES IN FEMA FLOOD ZONE X (UNSHADED) (32031C3245G). ZONE X (UNSHADED) IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD, WHICH ARE THE AREAS OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN.
29. ALL PROPERTIES MAY BE SUBJECT TO FLOODING REGARDLESS OF THEIR FLOOD DESIGNATION AS MAPPED BY FEMA. THE PROPERTY OWNER SHALL MAINTAIN ALL NATURAL DRAINAGE PATTERNS, DRAINAGE EASEMENTS AND SHALL NOT PERFORM ANY UNPERMITTED MODIFICATIONS TO THE PROPERTY THAT MAY HAVE DETRIMENTAL IMPACTS TO SURROUNDING PROPERTIES.
30. UNLESS SPECIFIED OTHERWISE, ALL DRAINAGE IMPROVEMENTS ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
31. ALL EROSION CONTROL MEASURES SHALL BE PLACED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
32. ANY EROSION CONTROL MEASURES SHOWN ARE A MINIMUM AND THE CONTRACTOR MAY MODIFY, RELOCATE AND IMPROVE AS REQUIRED THROUGHOUT THE CONSTRUCTION PROCESS.
33. PROVIDE INLET PROTECTION AT ALL EXISTING CATCH BASINS SURROUNDING THE SITE.
34. SHOULD ANY CAIRN OR GRAVE OF A NATIVE AMERICAN BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE SHERIFF'S OFFICE AS WELL AS THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES SHALL BE IMMEDIATELY NOTIFIED PER NRS 383.170.
35. ADD 4700' TO ALL ELEVATIONS.
36. ADD 4700' TO ALL ELEVATIONS.



OVERALL SITE PLAN

SCALE: 1"=40'

SITE PLAN LEGEND	
	DRIVEWAY/PAVED AREA
	DECK AREA
	INFILTRATION TRENCH/DRYWELL
	RAINSTRET3 DRYWELL INFILTRATION AREA
	PROPERTY LINE
	PROPERTY CORNER
	PROPOSED UTILITY LINE W. DESCRIPTION
	EXISTING UTILITY LINE W. DESCRIPTION
	FIRE HYDRANT ASSEMBLY
	WATER SERVICE
	MANHOLE W. DESCRIPTION
	CLEANOUT
	SANITARY SEWER LATERAL
	YARD DRAIN
	DIRECTIONAL FLOW LINE
	GRADE BREAK
	PROPOSED CONTOUR LINE
	EXISTING CONTOUR LINE
	FLOW DIRECTION ARROW
	SPOT ELEVATION (EXISTING) ~ PROPOSED
	TREE/TREE TO BE REMOVED

IRC DRAINAGE NOTE
 SURFACE DRAINAGE SHALL BE IN ACCORDANCE TO THE 2018 INTERNATIONAL RESIDENTIAL CODE. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL NOT FALL FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET. WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10', DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING.

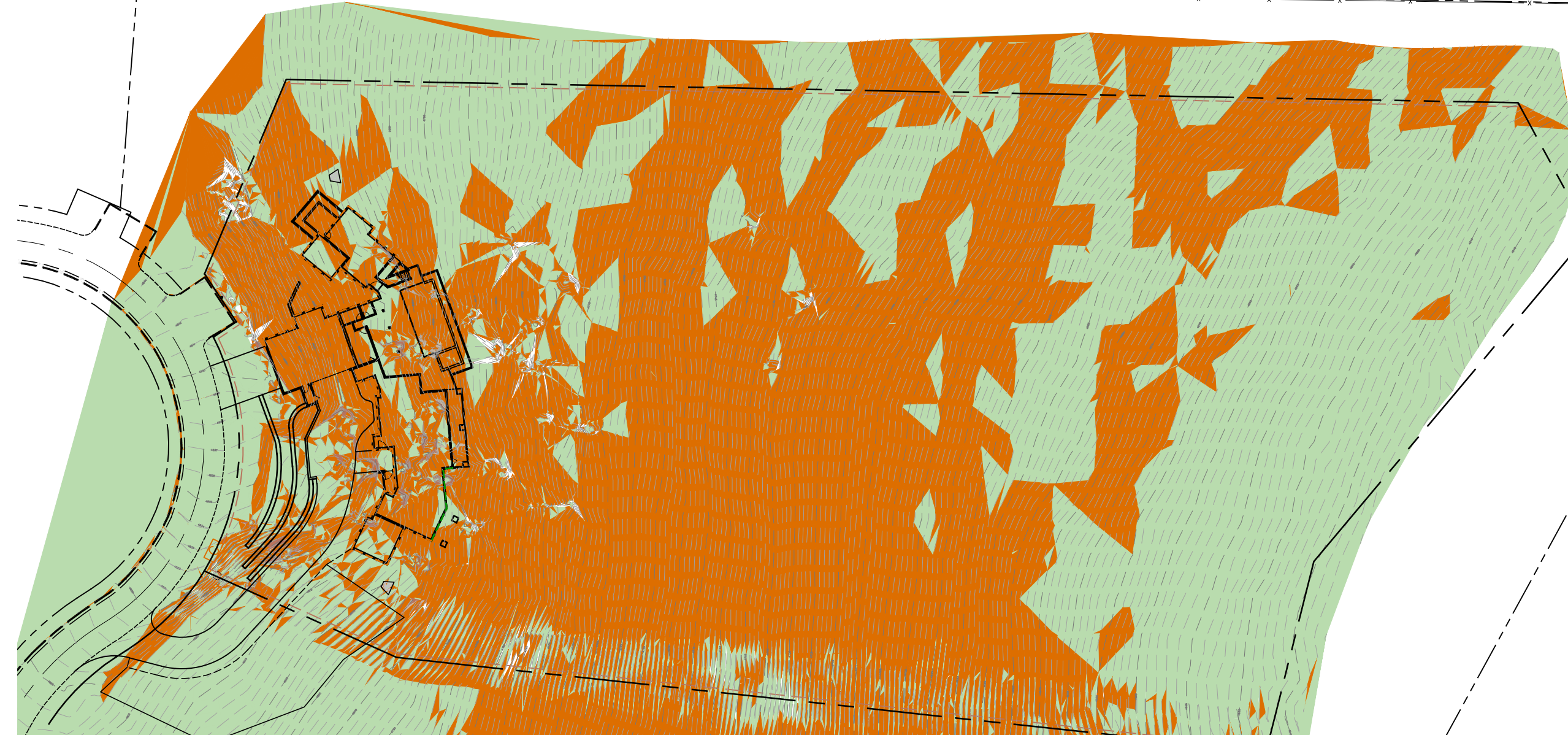
ADD 4700' TO ALL SPOT ELEVATIONS

EARTHWORK ANALYSIS				
SITE AREA	4.3 AC	EX. SLOPE IN DISTURBED AREA	50 %	
	SITE DISTURBANCE	PROPOSED CUT	PROPOSED FILL	EARTHWORK
TOTAL	29,530 FT ²	2,590 YD ³	1,780 YD ³	810 YD ³ CUT
*BUILDING	8,622 FT ²	1,367 YD ³	312 YD ³	1,055 YD ³ CUT
*DRIVEWAY & WALKWAYS	3,944 FT ²	476 YD ³	332 YD ³	144 YD ³ CUT
*REMAINDER	16,964 FT ²	747 YD ³	1,136 YD ³	389 YD ³ FILL

THESE QUANTITIES ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR ANY OVER EXCAVATION, SHRINKAGE OR EXPANSION OF MATERIALS. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL INVESTIGATION AND PERFORM AN INDEPENDENT EARTHWORK ANALYSIS FOR CONSTRUCTION PURPOSES.

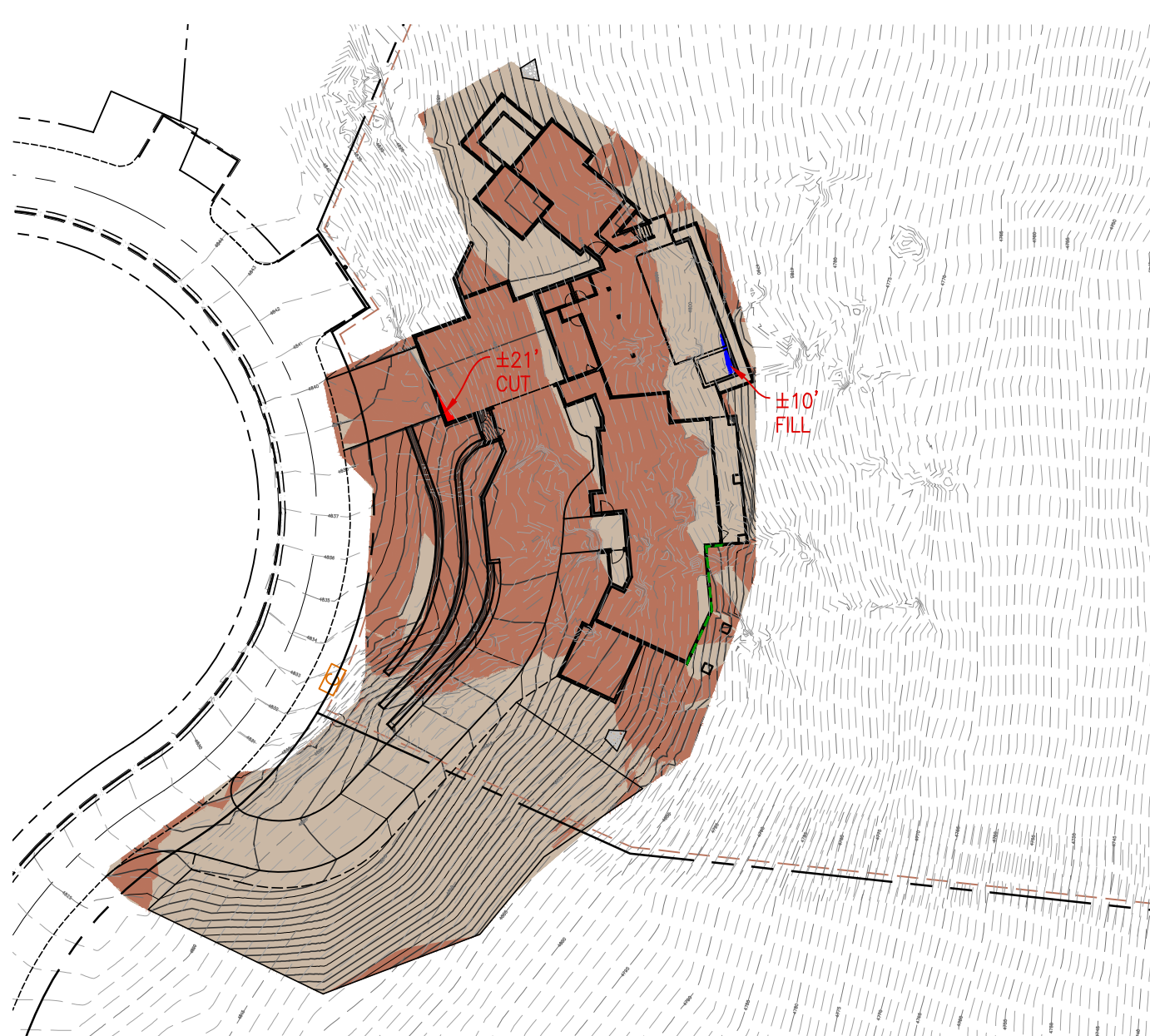
MAJOR GRADING PERMIT EARTHWORK THRESHOLDS
 PER SECTION 110.438.28 OF THE WASHOE COUNTY DEVELOPMENT CODE, ANY GRADING ASSOCIATED WITH THE FOLLOWING DOES NOT COUNT TOWARDS THE THRESHOLDS ASSOCIATED WITH A MAJOR GRADING PERMIT: BUILDING FOOTPRINT, DRIVEWAY, PAVED AREA OR AREAS LANDSCAPED IN ACCORDANCE WITH THE COMMERCIAL LANDSCAPE STANDARDS ESTABLISHED IN ARTICLE 412 OF THE WASHOE COUNTY DEVELOPMENT CODE.

Slopes Table				
Number	Minimum Slope	Maximum Slope	Area	Color
1	0.00%	30.00%	191842.42	
2	30.00%	100.00%	205837.02	



EXISTING SLOPE ANALYSIS

SCALE: 1"=60'

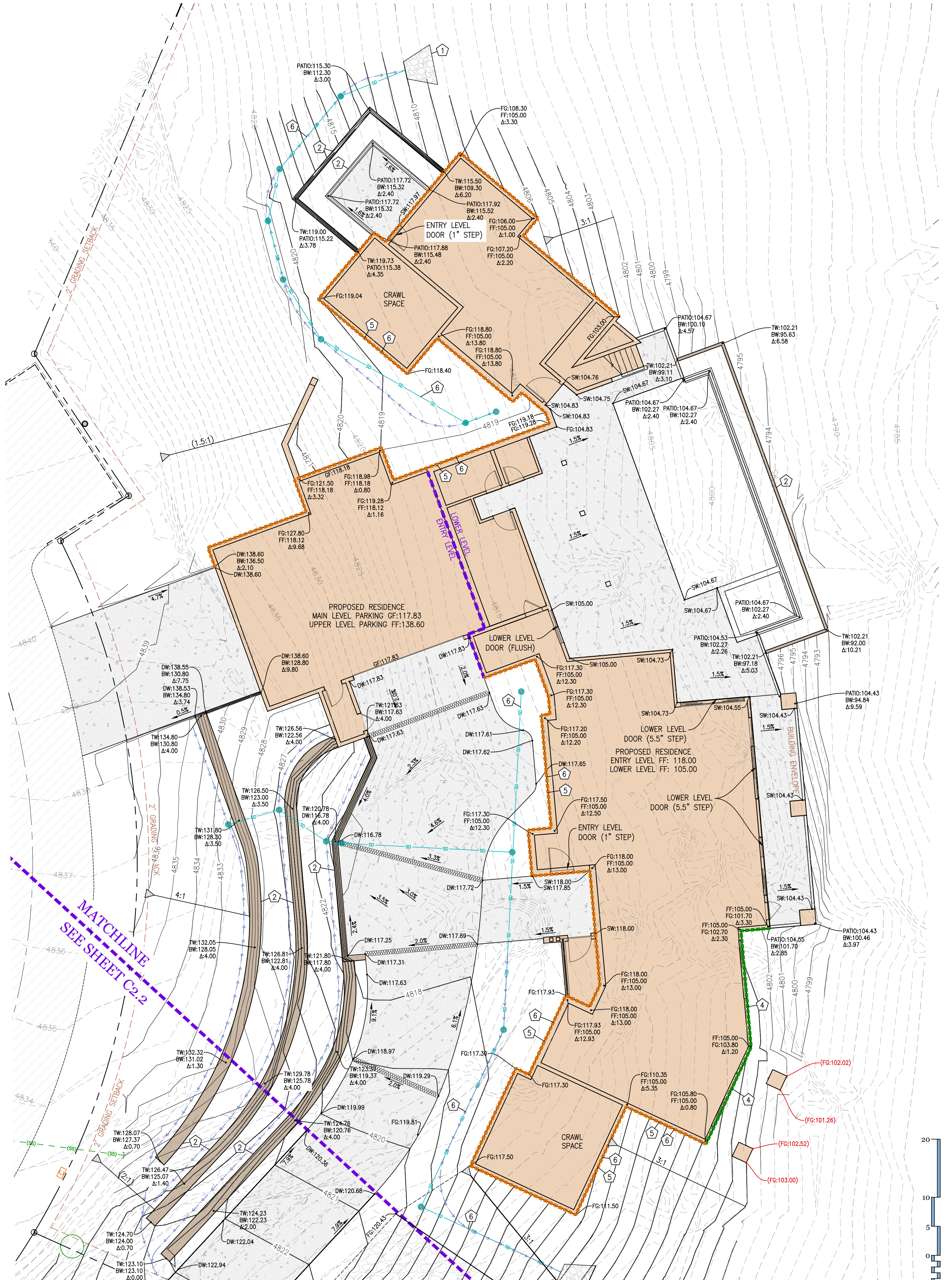


CUT-FILL ANALYSIS

SCALE: 1"=50'

Elevations Table				
Number	Minimum Elevation	Maximum Elevation	Area	Color
1	-21.30	-20.00	17.16	
2	-20.00	0.00	14969.75	
3	0.00	10.00	14461.06	
4	10.00	10.70	82.78	

- GRADING PLAN KEYNOTE LEGEND**
- MIN. 25 S.F. NATIVE/LANDSCAPE DRAIN ROCK TRANSITION TO SHEET FLOW
 - 4' MAX. RETAINING WALL (DESIGN & DETAILS BY OTHERS)
 - EXTEND FOOTING TO PROVIDE FG IDENTIFIED (COORD. W. ARCHITECTURAL/STRUCTURAL DESIGN BY OTHERS).
 - EXTEND STEMWALL TO PROVIDE FG IDENTIFIED (COORD. W. ARCHITECTURAL/STRUCTURAL DESIGN BY OTHERS).
 - REFERENCE ARCHITECTURAL/STRUCTURAL PLANS FOR SUBSURFACE DRAINAGE/DEWATERING REQ.
 - PRIVATE DRAINAGE SYSTEM W. 1.0% MIN. INTERNAL SLOPE



PROPOSED RESIDENCE PLAN

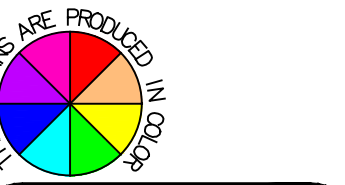
SCALE: 1"=10'



2359 Diamond J Residence
 Site & Grading Plan

2359 Diamond J Place
 APN: 230-031-12
 Washoe County, Nevada

Project # 25,090
 Drawn TKN
 Checked MWV
 Date 6.8.2026
 Revisions



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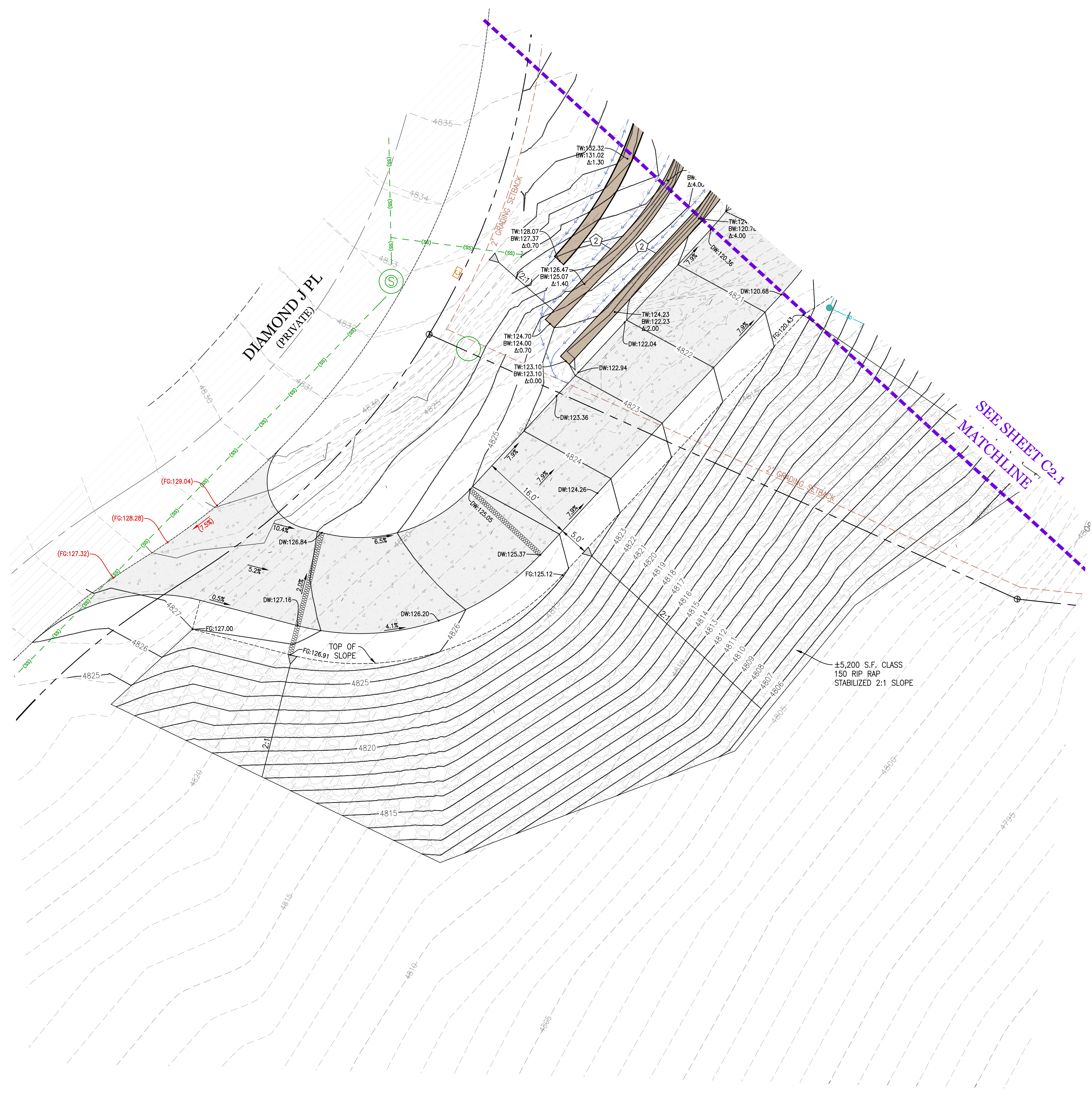


SITE PLAN LEGEND

- DRIVEWAY/PAVED AREA
- DECK AREA
- INFILTRATION TRENCH/DRYWELL
- RAINSTORE3 DRYWELL INFILTRATION AREA
- PROPERTY LINE
- PROPERTY CORNER
- UTILITY
- PROPOSED UTILITY LINE W. DESCRIPTION
- EXISTING UTILITY LINE W. DESCRIPTION
- FIRE HYDRANT ASSEMBLY
- WATER SERVICE
- MANHOLE W. DESCRIPTION
- CLEANOUT
- SANITARY SEWER LATERAL
- YARD DRAIN
- DIRECTIONAL FLOW LINE
- GRADE BREAK
- 4900 PROPOSED CONTOUR LINE
- 4900 EXISTING CONTOUR LINE
- FLOW
- SPOT ELEVATION (EXISTING) ~ PROPOSED
- TREE/TREE TO BE REMOVED

IRC DRAINAGE NOTE
 SURFACE DRAINAGE SHALL BE IN ACCORDANCE TO THE 2018 INTERNATIONAL RESIDENTIAL CODE. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL NOT FALL FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET. WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10', DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING.

ADD 4700' TO ALL SPOT ELEVATIONS



PROPOSED DRIVEWAY PLAN
 SCALE: 1"=10'

- GRADING PLAN KEYNOTE LEGEND**
1. MIN. 25 S.F. NATIVE/LANDSCAPE DRAIN ROCK TRANSITION TO SHEET FLOW
 2. 4' MAX. RETAINING WALL (DESIGN & DETAILS BY OTHERS)
 3. EXTEND FOOTING TO PROVIDE FG IDENTIFIED (COORD. W. ARCHITECTURAL/STRUCTURAL DESIGN BY OTHERS).
 4. EXTEND STEMWALL TO PROVIDE FG IDENTIFIED (COORD. W. ARCHITECTURAL/STRUCTURAL DESIGN BY OTHERS).
 5. REFERENCE ARCHITECTURAL/STRUCTURAL PLANS FOR SUBSURFACE DRAINAGE/DEWATERING REQD.
 6. PRIVATE DRAINAGE SYSTEM W. 1.0% MIN. INTERNAL SLOPE

MONTE VISTA CONSULTING
 575 E. Plumb Lane #101
 Reno, NV 89502
 775.636.7905
 montevisaconsulting.com



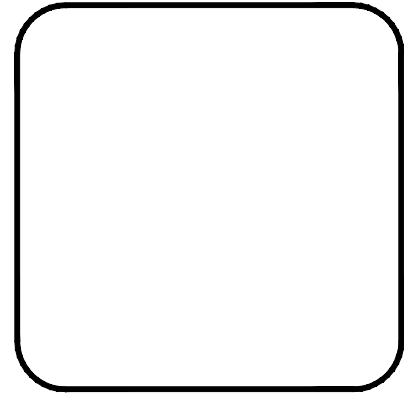
2359 Diamond J Residence
 Site & Grading Plan

2359 Diamond J Place
 APN: 230-031-12
 Washoe County, Nevada

Project #	25,090
Drawn	TKN
Checked	MWV
Date	6.8.2026
Revisions	

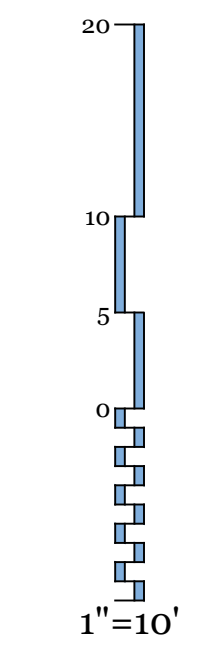
FOR CONSTRUCTION ONCE APPROVED BY WASHOE COUNTY, NEVADA

June 5, 2026



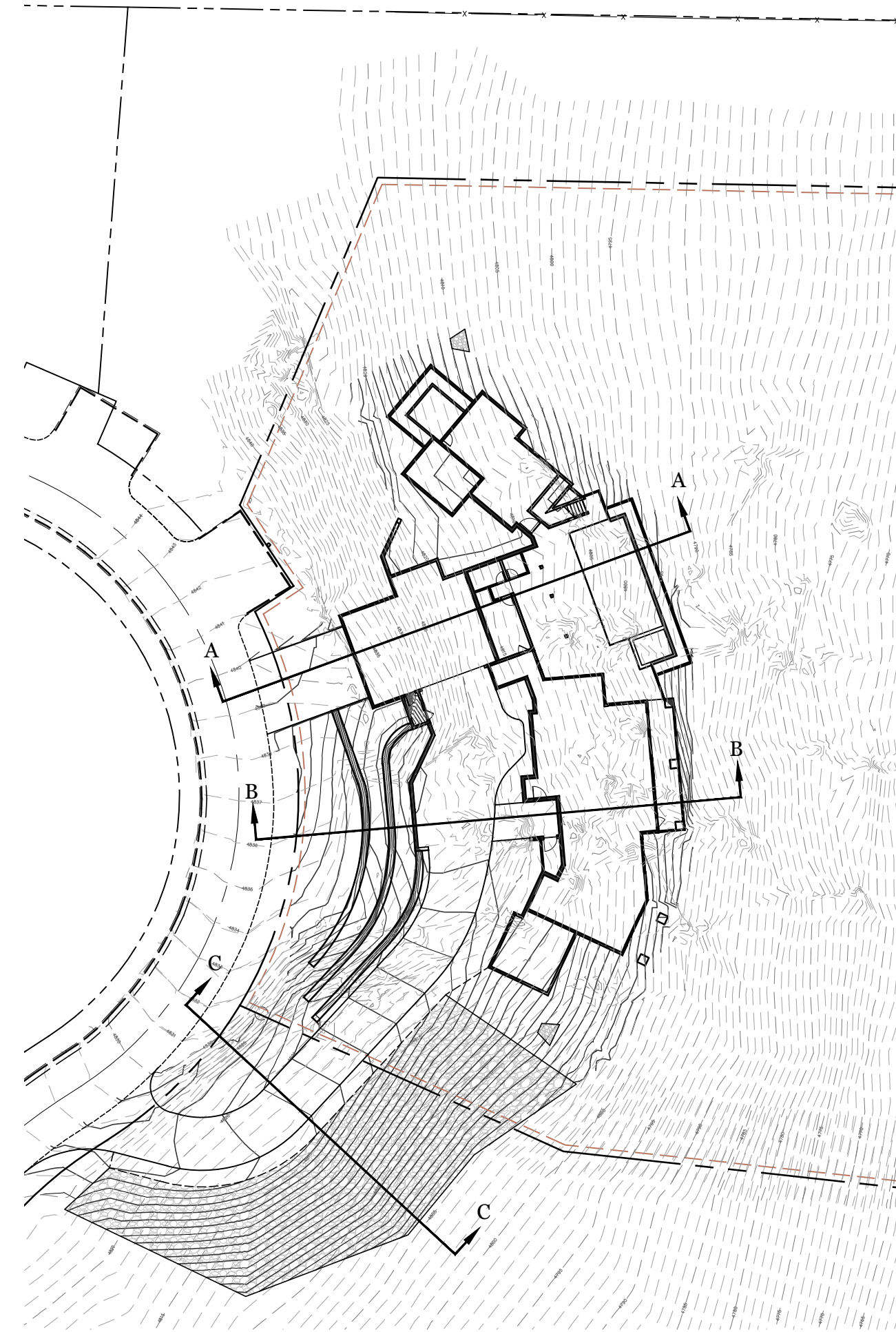
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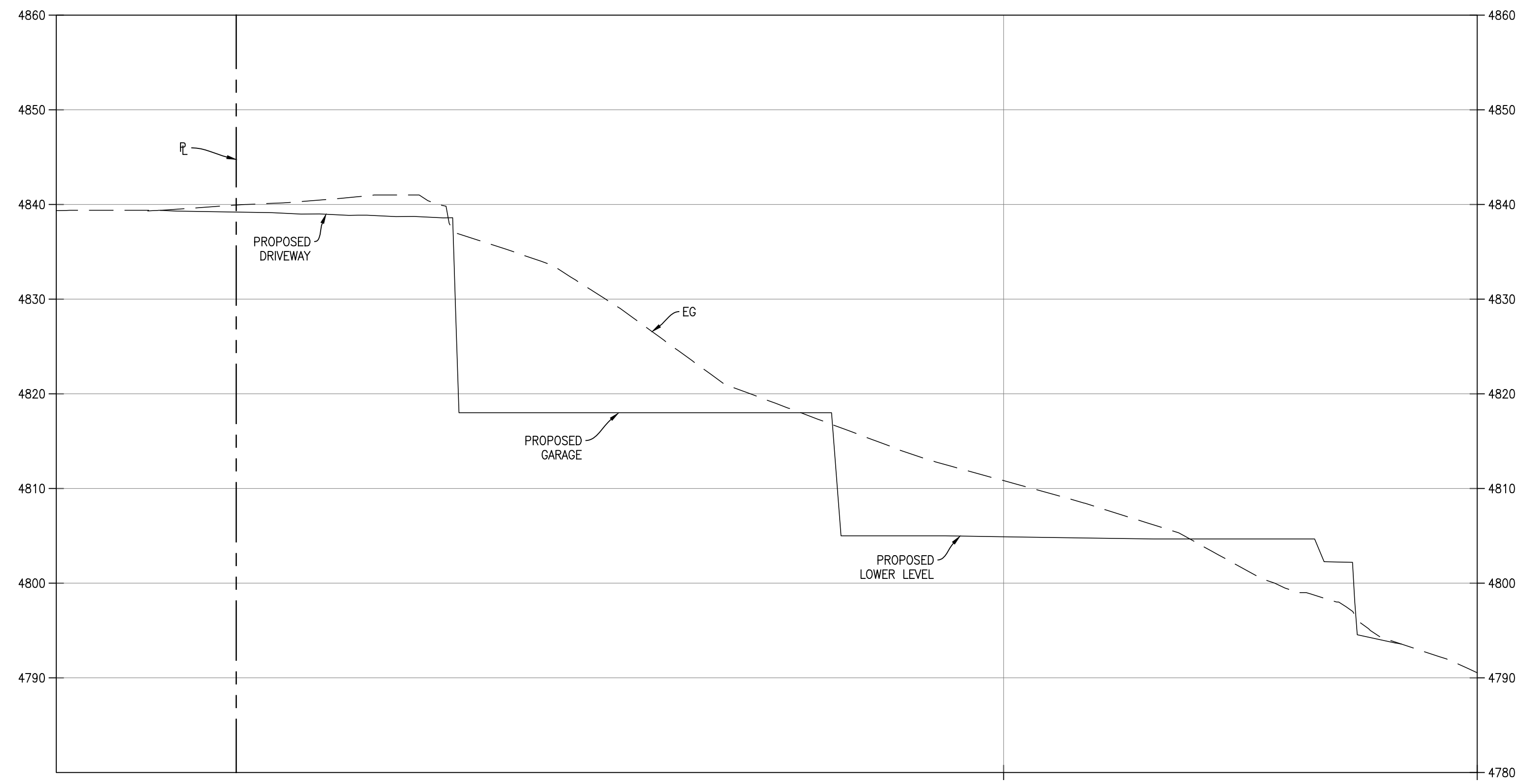


SITE PLAN LEGEND

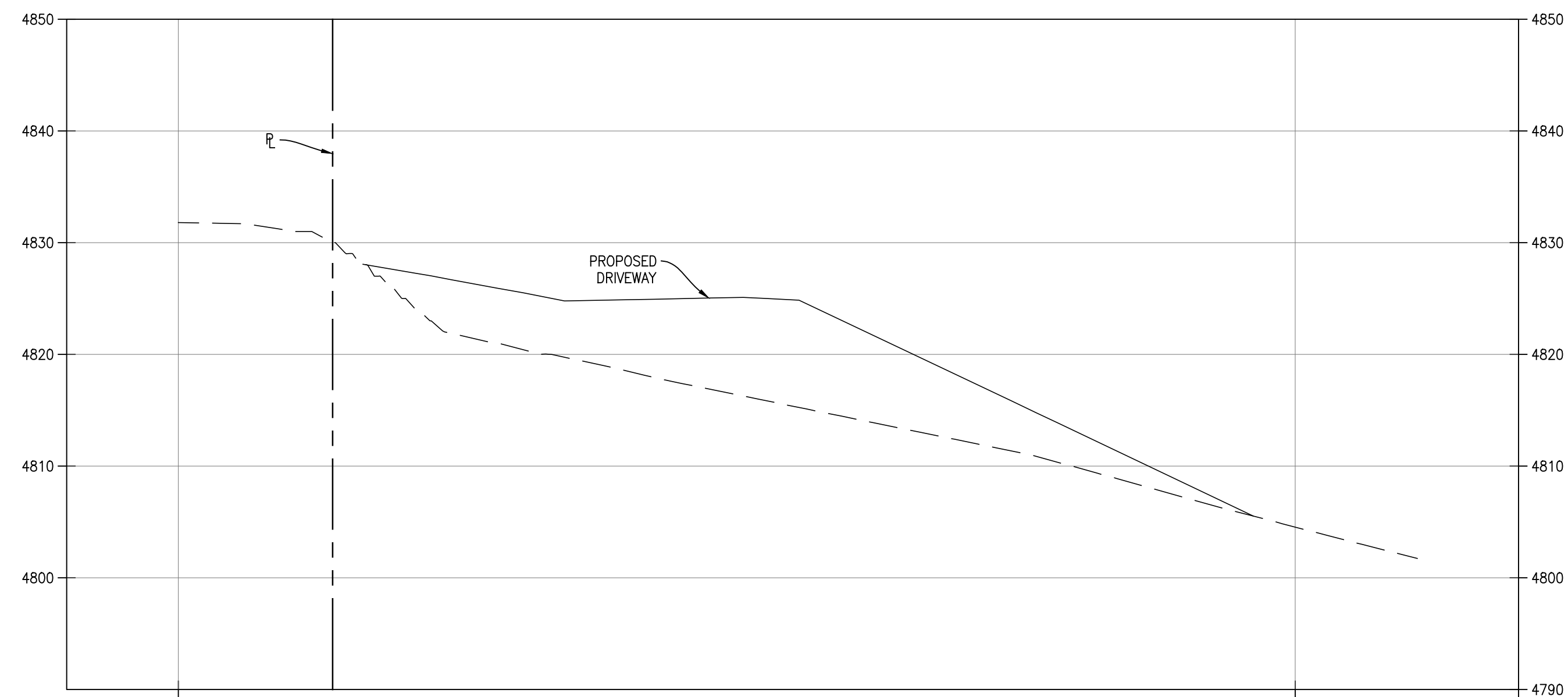
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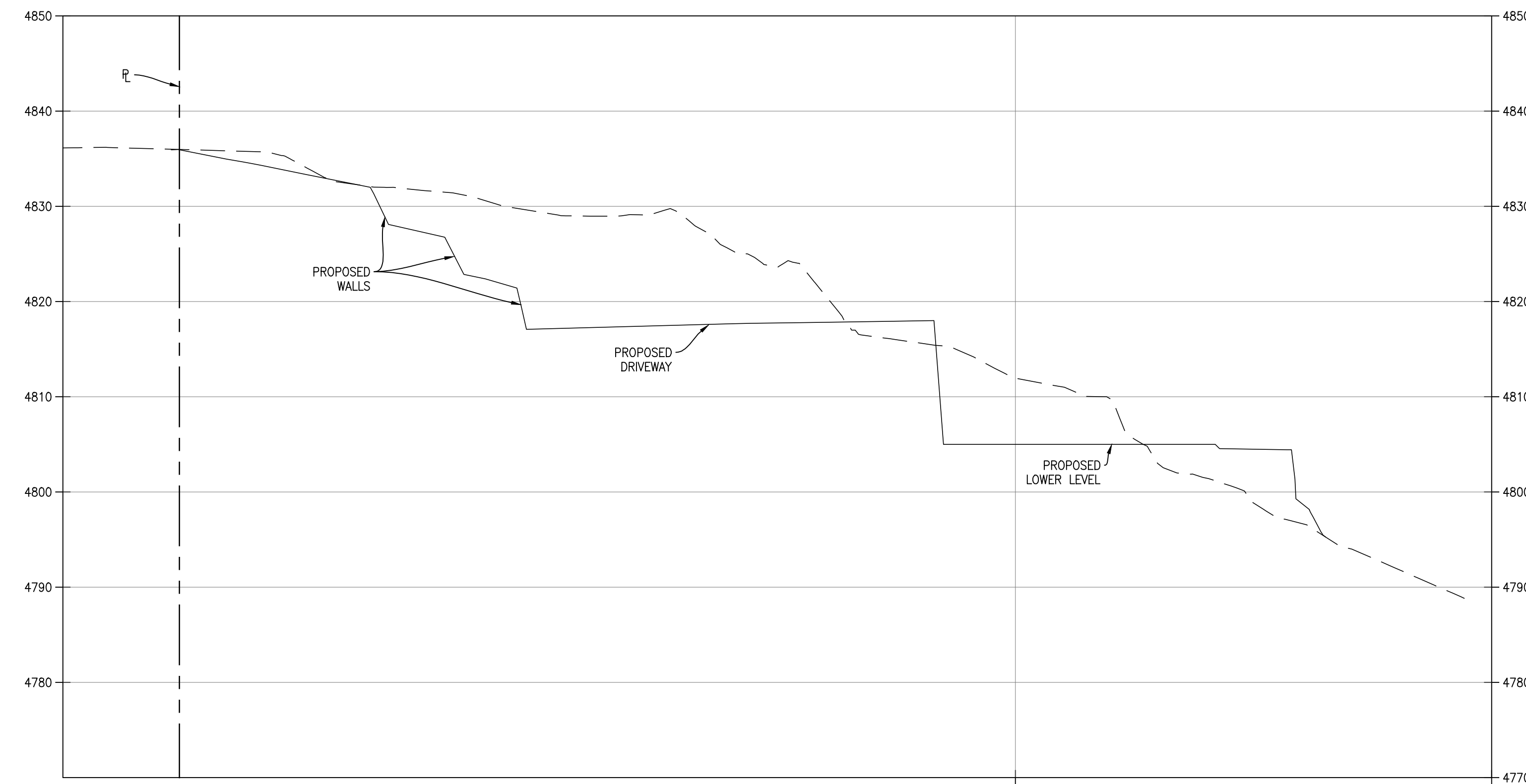
OVERALL SITE PLAN
SCALE: 1"=40'



A-A
VERTICAL SCALE: 1"=10'
HORIZONTAL SCALE: 1"=10'



C-C
VERTICAL SCALE: 1"=10'
HORIZONTAL SCALE: 1"=10'



B-B
VERTICAL SCALE: 1"=10'
HORIZONTAL SCALE: 1"=10'

MONTE VISTA CONSULTING
575 E. Plumb Lane #101
Reno, NV 89502
775.636.7905
montevistaconsulting.com



2359 Diamond J Residence
Grading Cross Sections

2359 Diamond J Place
APN: 230-031-12
Washoe County, Nevada

Project # 25,090
Drawn TKN
Checked MWV
Date 6.8.2026
Revisions



June 5, 2026



C3.0

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6/10/2026

